



Case Number **ZC-17-171**

**ZONING MAP CHANGE
STAFF REPORT**

City Council Meeting Date:
January 9, 2018

Council District 7

Zoning Commission Recommendation:

Approval by a vote of 7-0

Opposition: None submitted

Support: None submitted

Continued	Yes	___	No	<u>X</u>
Case Manager			<u>Lynn Jordan</u>	
Surplus	Yes	___	No	<u>X</u>
Council Initiated	Yes	___	No	<u>X</u>

Owner / Applicant: **Roanoke 35/114 Partners, L. P.**

Site Location: 15888 Championship Parkway Mapsco: 643T

Proposed Use: **Multifamily**

Request: From: "K" Heavy Industrial

To: PD/D Planned Development for all uses in "D" High Density Multifamily with height up to 42 ft.; site plan included

Land Use Compatibility: Requested change **is compatible.**

Comprehensive Plan Consistency: Requested change **is consistent.**

Background:

The property is located in Champions Village, just south of Texas Motor Speedway at SH 114 and IH 35. The applicant is proposing a zoning change to PD/D Planned Development for all uses in "D" High Density Multifamily in order to provide a residential component to the developing commercial uses. The applicant is requesting height up to 42 ft. If approved, the development would be required to follow the URD Unified Residential Development standards of Section 6.507.

Several zoning changes in this area for multifamily have occurred over the last few years.

The table below describes the differences between the standard "D" district and the proposed PD:

Development Standards	D District (URD Standards)	Proposed PD
Units per acre	24 maximum per acre	17.07 Un/Ac. Complies
Units proposed	NA	265 units
Building Height	32 ft. maximum	42 ft. (waiver recommended)
Parking Spaces	Require: 498 spaces maximum	466 spaces provided 1.75 spaces per unit requested (waiver recommended)

Gates/Fencing	Fences may be between the building and street	Indicate on the site plan if fenced and gated
Open Space	35% minimum	35% indicated Complies
Separation Requirements (URD) Face to Face End to Face	Face=Building plane over 60 ft. 50 20	Buildings will be approx. 50 ft. face 50 50 Complies

Site Information:

Owner: Roanoke 35/114 Partners, LP. & Roanoke 35/114 O&G Partners
201 Main Street, Suite 3100
Fort Worth, TX 76102
Agent: Stantec Consulting Services, Inc.; Charlie Fowler Jr.
Acreage: 15.53 acres
Comprehensive Plan Sector: Far North
Surrounding Zoning and Land Uses:
North "K" Heavy Industrial / new commercial retail development
East "K" Heavy Industrial / Tanger outlet mall
South PD 502 Planned Development for MU-2 excluding single-family / proposed multifamily
West "K" Heavy Industrial / vacant

Site Plan Comments:

The site plan as submitted is not in general compliance with the Zoning Ordinance regulations. The key deficiencies are:

1. The maximum height for multifamily is 32 ft. Site plan indicates 42 ft. **(waiver required)**
2. The maximum parking spaces required is 498, site plan indicates 466 spaces. **(waiver required)**

Zoning Commission recommended waivers to the items noted above.

Platting site plan comments:

1. A replat of Lot 2, Block 3 will be required. All remainders of Lot 2, will be included in that replat.
2. Since this apartment complex has more than 100 dwelling units, two points of ingress and egress must be provided with gated entrances meeting TPW design standards for gated entrances with adequate stacking and turnarounds.
3. All named emergency access easements must be shown on the plat.

Transportation and Public Works (TPW) site plan comments:

1. Secondary Ingress and Egress (Ch. 31-101.c) – Subdivisions containing more than thirty (30) one-family or two-family dwelling units shall have a platted and constructed secondary ingress and egress to a public street. Multi-family developments of 100 dwelling units or more shall have a platted and constructed secondary ingress and egress to a public street.
2. Emergency Access Easements (Ch.31-104.C) - Emergency access easements shall not be less than 26' in width. Show the full 26' width on the plat. Where emergency access easements intersect, the dedication of a 10' by 10' public open space easement (POSE) shall be dedicated for sight visibility shall be required. The emergency access easements shall remain unobstructed at all times. A 26 ft. for multi-family development with densities exceeding 100 units (must have access to one public street in addition to public access easement)
3. Gated Entrances (Ch. 31-107) - Gated entrances into secured areas must be designed in accordance with TPW's "Traffic Engineering Design Standards and Policy Guidelines". Provisions for an acceptable turnaround must be made. Provide details in IPRC plan set (single-family) or UR site plan (multi-family)

for gates. All gates shall be equipped with a knox-box or other approved fire access apparatus that is reviewed and approved by the Fire Department. (Gates must be located 3 vehicle lengths from the ROW)
4. Sidewalks (Ch. 31-106-C-15) - Sidewalks and street lights are required for all public and private streets and public access easements as per City of Fort Worth Standards

Fire site plan comments: Fire has no objections to this zoning change case.

Parks site plan comments:

PARD/PDP: The Neighborhood and Community Park Dedication Policy will apply.

Neighborhood Park Fees-in-Lieu will be required.

Community Park Fee-in-Lieu will be required.

All Open Space and easements on this plat MUST be indicated specifically as:

""Private HOA/Developer Owned and Maintained Open Space"".

All fees will be prorated based on the final plat/UR submissions. Fees must be made payable to the: City of Fort Worth Park and Recreation Department, prior to final plat release.

Call Joe Janucik at 817-392-5706 for additional information.

TPW Stormwater site plan comments: FiSWM Required.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Recent Relevant Zoning and Platting History:

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Zoning History: ZC-17-011 PD 1128 for multifamily with waivers; eff 4/27/17 west of subject area;
ZC-14-067 PD 502 to PD/MU-2 for multifamily with waivers; eff 8/12/2014, east of subject property

ZC-03-082 "K" Heavy Industrial to PD 502; effective 5/15/2003

Platting History: PP-14-029 Revised Preliminary Plat for Champions Circle Addition including subject property; approved by the City Plan Commission 3/22/17

Transportation/Access

Street/Thoroughfare	Existing	Proposed	In Capital Improvements Plan (CIP)
Outlet Dr.	Commercial Collector	Commercial Collector	No
Championship Dr.	Commercial Collector	Commercial Collector	No

Public Notification:

300 foot Legal Notifications were mailed on November 28, 2017.

The following organizations were notified: (emailed November 28, 2017)

Organizations Notified	
North Fort Worth Alliance	Trinity Habitat for Humanity
Northwest Fort Worth Community Alliance	Streams & Valleys, Inc.
Fort Worth league of Neighborhood Assoc.	Northwest ISD
Beechwood Creeks HOA*	

*Closest registered neighborhood association.

Development Impact Analysis:

1. **Land Use Compatibility**

The applicant is proposing a zoning change from K to PD/D for multifamily. Surrounding land uses consist of vacant land to the north and west, Planned Developments for multifamily to the south and east. As part of the horizontal mixed use development in the area, the proposed zoning **is compatible** at this location.

2. **Comprehensive Plan Consistency**

The 2017 Comprehensive Plan designates the subject property as General Commercial. While the multifamily is a residential use and not commercial, the proposed PD/D zoning **is consistent** with the following Comprehensive Plan policies and the Comprehensive Plan.

- Locate multifamily units adjacent to collector streets, arterial streets, or rail transit stations to provide the increased level of transportation services necessary for the greater number of residents. (pg. 38)
- Promote location of multifamily units within walking distance of public transportation, employment, recreation, and/or shopping to increase accessibility and decrease vehicular traffic generation. (pg. 38)

Attachments:

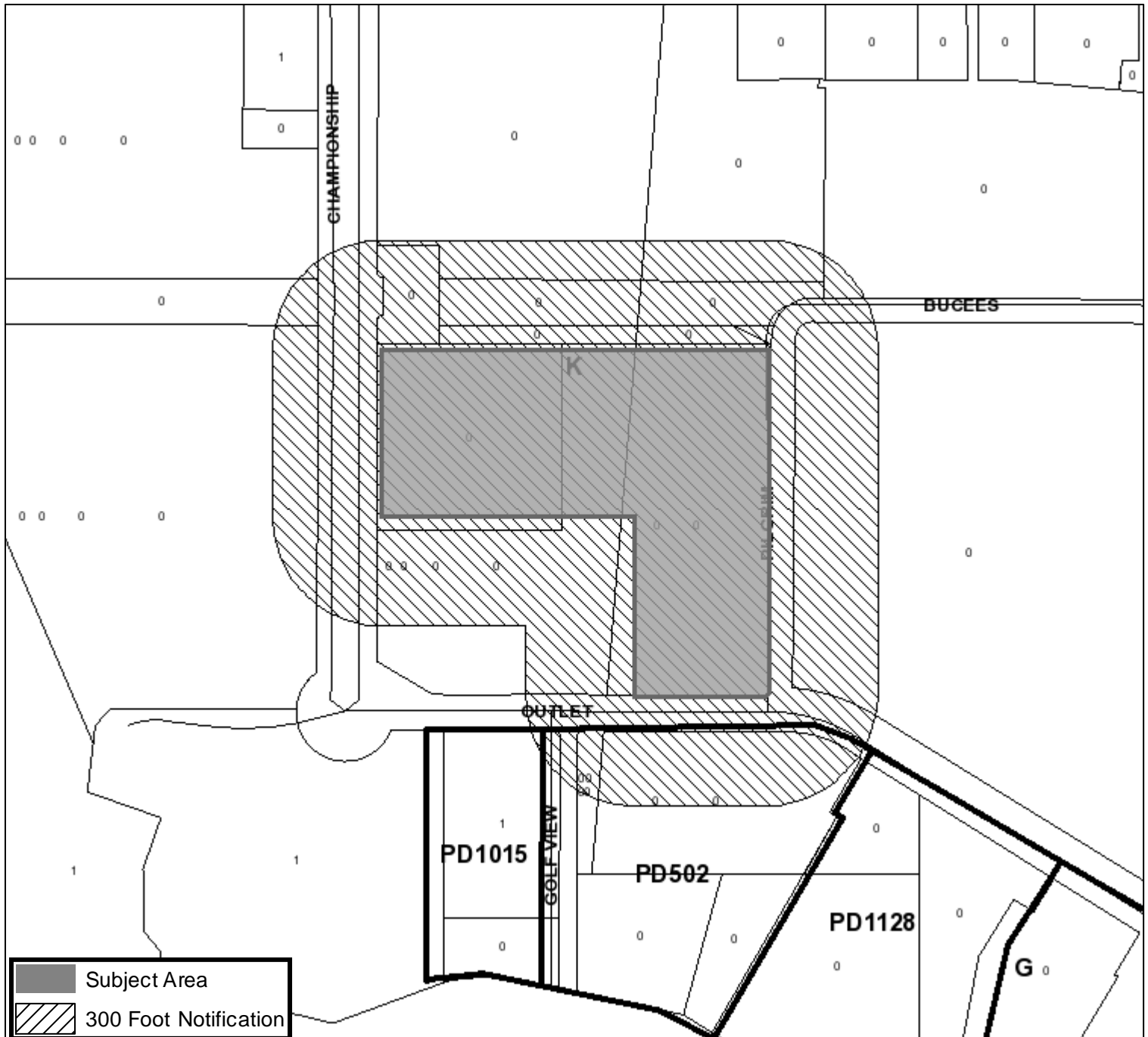
- Location Map
- Area Zoning Map with 300 ft. Notification Area
- Future Land Use Map
- Aerial Photograph
- Site Plan
- Preliminary Plat
- Minutes from the Zoning Commission meeting



ZC-17-171

Area Zoning Map

Applicant: Roanoke 35/114 Partners, LP
Address: 15888 Championship Parkway
Zoning From: K
Zoning To: PD/D for multifamily development with waiver to height
Acres: 15.53832618
Mapsc0: 643T
Sector/District: Far North
Commission Date: 12/13/2017
Contact: 817-392-2495



0 200 400 800 Feet

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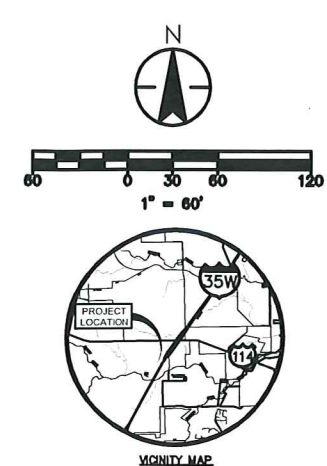
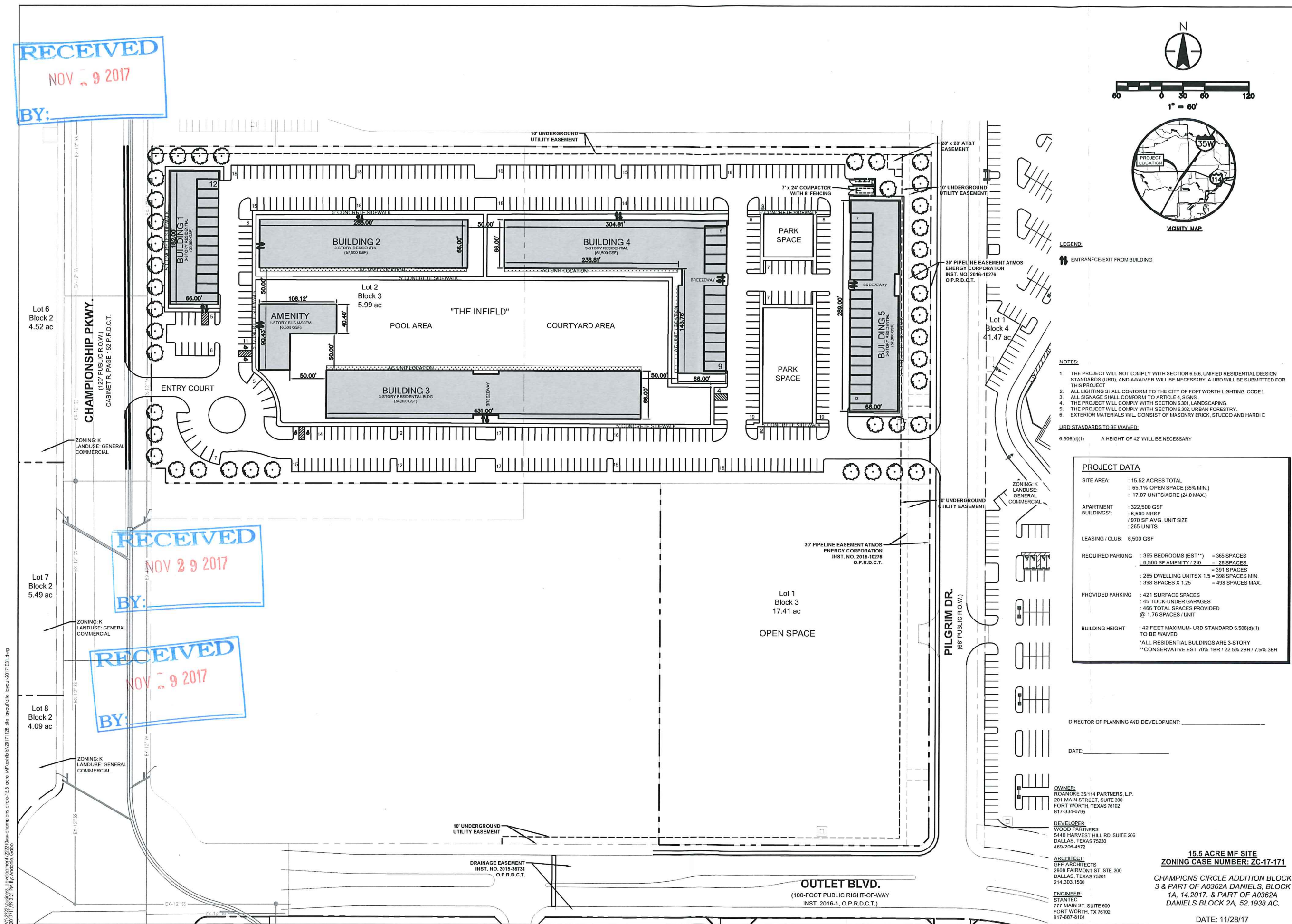
ZC-17-171

Area Map



0 1,000 2,000 4,000 Feet

V:\2222\Business Development\2222\Box-champions circle-15.5 acre MF exhibit\20171128 site layout\Site layout-201711031.dwg
20171128 12:21 PM By: Antonio Gado



- LEGEND:**
- ENTRANCE/EXIT FROM BUILDING
- NOTES:**
- THE PROJECT WILL NOT COMPLY WITH SECTION 6.506, UNIFIED RESIDENTIAL DESIGN STANDARDS (URD), AND A WAIVER WILL BE NECESSARY. A URD WILL BE SUBMITTED FOR THIS PROJECT.
 - ALL LIGHTING SHALL CONFORM TO THE CITY OF FORT WORTH LIGHTING CODE.
 - ALL SIGNAGE SHALL CONFORM TO ARTICLE 4, SIGNS.
 - THE PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING.
 - THE PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
 - EXTERIOR MATERIALS WILL CONSIST OF MASONRY BRICK, STUCCO AND HARDIE.
- URD STANDARDS TO BE WAIVED:**
- 6.506(d)(1) A HEIGHT OF 42' WILL BE NECESSARY

PROJECT DATA	
SITE AREA:	15.52 ACRES TOTAL 65.1% OPEN SPACE (35% MIN.) 17.07 UNITS/ACRE (24.0 MAX.)
APARTMENT BUILDINGS:	322,500 GSF 6,500 NRSF 970 SF AVG. UNIT SIZE 265 UNITS
LEASING / CLUB:	6,500 GSF
REQUIRED PARKING	365 BEDROOMS (EST**) = 365 SPACES 6,500 SF AMENITY / 210 = 26 SPACES 265 DWELLING UNITS X 1.5 = 398 SPACES MIN. 398 SPACES X 1.25 = 498 SPACES MAX.
PROVIDED PARKING	421 SURFACE SPACES 45 TUCK-UNDER GARAGES 466 TOTAL SPACES PROVIDED @ 1.76 SPACES / UNIT
BUILDING HEIGHT	42 FEET MAXIMUM- URD STANDARD 6.506(d)(1) TO BE WAIVED *ALL RESIDENTIAL BUILDINGS ARE 3-STORY **CONSERVATIVE EST 70% 1BR / 22.5% 2BR / 7.5% 3BR

DIRECTOR OF PLANNING AND DEVELOPMENT: _____
DATE: _____

OWNER:
ROANOKE 35114 PARTNERS, L.P.
201 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
817-334-0795

DEVELOPER:
WOOD PARTNERS
5440 HARVEST HILL RD. SUITE 206
DALLAS, TEXAS 75230
469-206-4572

ARCHITECT:
GFF ARCHITECTS
2608 FAIRMONT ST. STE. 300
DALLAS, TEXAS 75201
214.303.1500

ENGINEER:
STANTEC
777 MAIN ST. SUITE 600
FORT WORTH, TX 76102
817-887-8104

**15.5 ACRE MF SITE
ZONING CASE NUMBER: ZC-17-171**

**CHAMPIONS CIRCLE ADDITION BLOCK
3 & PART OF A0362A DANIELS, BLOCK
1A, 14.2017. & PART OF A0362A
DANIELS BLOCK 2A, 52.1938 AC.**

DATE: 11/28/17

Client/Project
Wood Partners
15.5 Acre MF Site

City of Fort Worth
Title: PD SITE PLAN

Permit-Seal

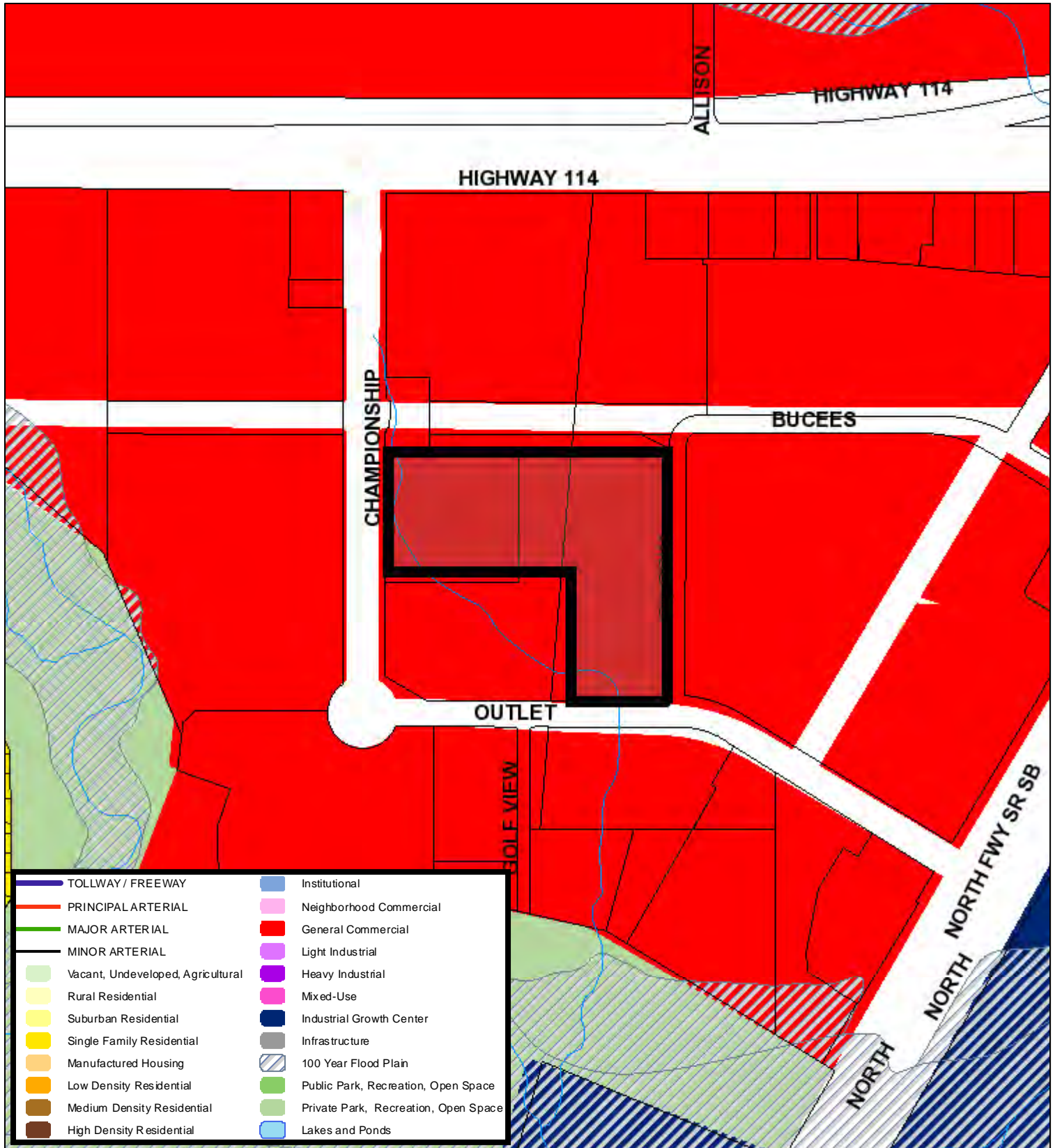
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File Name:	site layout-201711031.dwg		
GA	KW	DP	17.11.28
Drawn	Checked	Design	YYMMDD
Drawing No. C1.0			
Revision	Sheet		

1 of 1



ZC-17-171

Future Land Use



510 255 0 510 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 7, 2017.

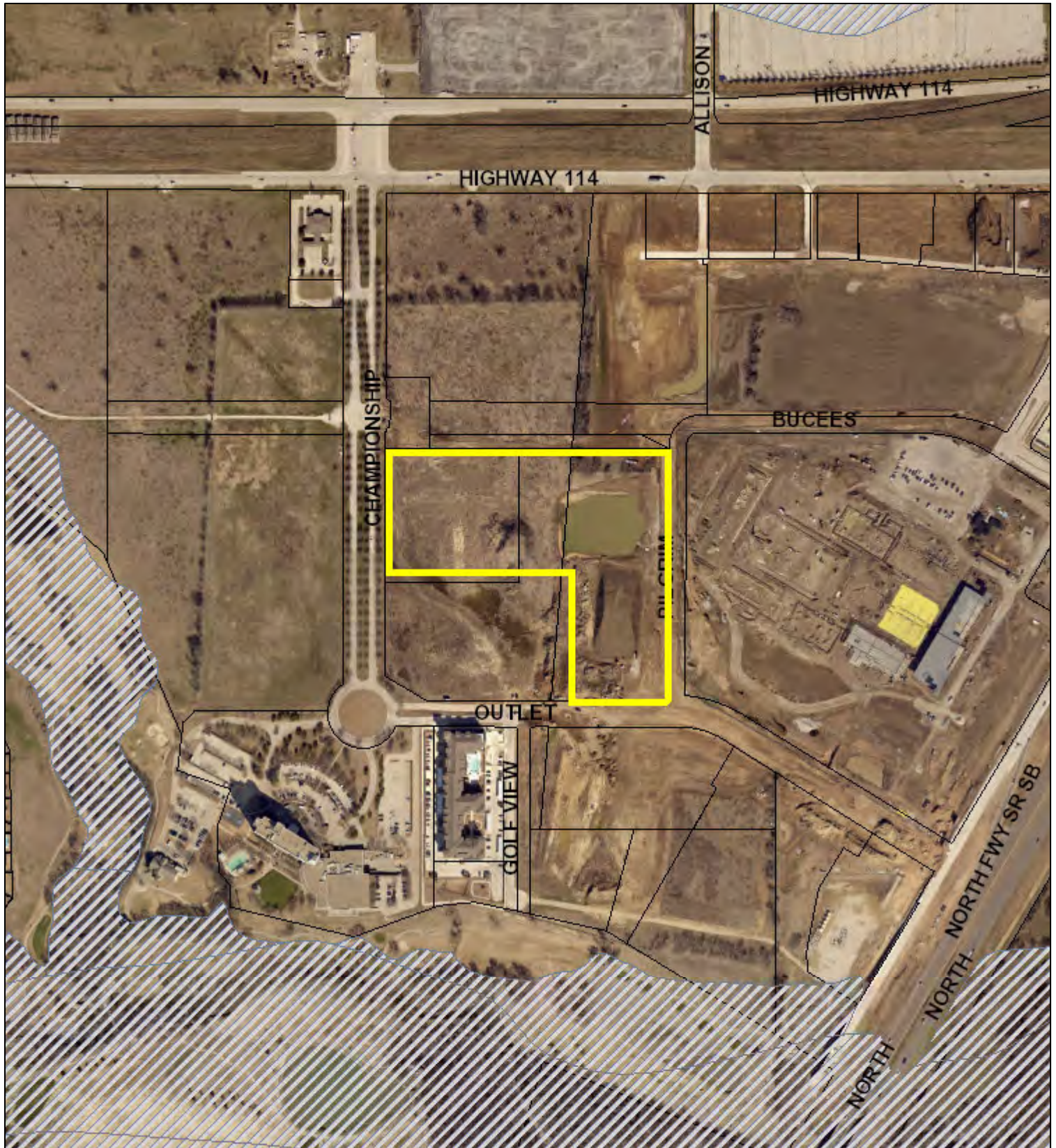


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Aerial Photo Map



0 320 640 1,280 Feet



DRAFT
City of Fort Worth, Texas
Zoning Commission
December 13, 2017 – Meeting Minutes

Present:

Melissa McDougall, Chair, District 5
Will Northern, District 1
Beth Welch, District 3
Jesse Gober, District 4
Sandra Runnels, District 6
John Aughinbaugh, District 7
Kevin Buchanan, District 9

Staff Members Present:

Dana Burghdoff, Assistant P&D Director
Jocelyn Murphy, Planning Manager
Lynn Jordan, Planner
Laura Evans, Planner
Mirian Spencer, Sr. Transportation Planner
Melinda Ramos, Sr. Assistant City Attorney
Tyler Wallach, Assistant City Attorney II

Absent:

Jennifer Trevino, District 2
Wanda Conlin, District 8

I. Public Hearing – 1:00 P. M.

Ms. Murphy explained the procedure to be followed for the Zoning Commission meeting.

II. Minutes

The Commission, on a motion by Mr. Northern, seconded by Ms. Runnels, with a vote of 7-0 voted to approve the Zoning Commission minutes of the November 8, 2017 meeting.

Video on individual cases can be viewed at the following website.

http://fortworthgov.granicus.com/ViewPublisher.php?view_id=2

III. Continued Cases

1. ZC-17-171 Roanoke 35/114 Partners, LP (CD 7) – 15888 Championship Parkway (Rufus Daniel Survey Abstract No. 362, 15.53 ac) from: "K" Heavy Industrial/I-35 overlay To: PD/D "D" High Density Multifamily, waiver to the maximum height, site plan included

David Pritcher, 4700 S Ridge Rd #818, McKinney, TX, representing the applicant, stated they are requesting a PD/D with a waiver to the height maximum.

Motion: Following brief discussion, Mr. Aughinbaugh recommended Approval of the request, seconded by Mr. Gober. The motion passed unanimously 7-0.

Document received for written correspondence					ZC-17-171
Name	Address	In/Out 300 ft. notification area	Position on case		Summary
David Pritcher	4700 S Ridge Rd #818, McKinney, TX		Support		Representing applicant

Motion: Following brief discussion, Mr. Buchanan recommended Approval of the request, seconded by Mr. Gober. The motion passed unanimously 8-0.

<i>Document received for written correspondence</i>					ZC-17-170
Name	Address	In/Out 300 notification area	Position on case		Summary
Michael Wellbaum	6400 Wildwood Cir E		Support		Representing Applicant

18. ZC-17-171 ROANOKE 35/114 PARTNERS, LP (CD 7) – 15888 Championship Parkway (Rufus Daniel Survey Abstract No. 362, 15.53 ac) from: "K" Heavy Industrial/I-35 overlay To: "D" High Density Multifamily

Charlie Fowler, 7728 Lon Morris Cr, stated they are requesting a continuance to work on a site plan.

Motion: Following brief discussion, Mr. Aughinbaugh recommended a 30-day continuance of the request, seconded by Ms. Conlin. The motion passed unanimously 8-0.

<i>Document received for written correspondence</i>					ZC-17-171
Name	Address	In/Out 300 ft notification area	Position on case		Summary
Charlie Fowler	7728 Lon Morris Cr		Support		Representing Applicant

19. ZC-17-172 UNION GOSPEL MISSION OF TARRANT COUNTY (CD 8) – 1401 E. Lancaster (Union Gospel Mission Lot 2, Block 1, 0.62 ac) From: "PD 477" PD/SU Planned Development Specific Use for all uses in "MU-2" plus shelters, site plan required To: MU-2 High Intensity Mixed Use

Justin Light, 500 W 7th Suite 600, stated this is essentially a boundary adjustment to remove the property from the existing planned development. The property is currently used as a parking lot. The proposed is multifamily with a clinic on the bottom floor.

Motion: Following brief discussion, Ms. Conlin recommended Approval of the request, seconded by Mr. Aughinbaugh. The motion passed unanimously 8-0.

<i>Document received for written correspondence</i>					ZC-17-172
Name	Address	In/Out 300 ft notification area	Position on case		Summary
Justin Light	500 W 7 th Suite 600		Support		Representing Applicant